

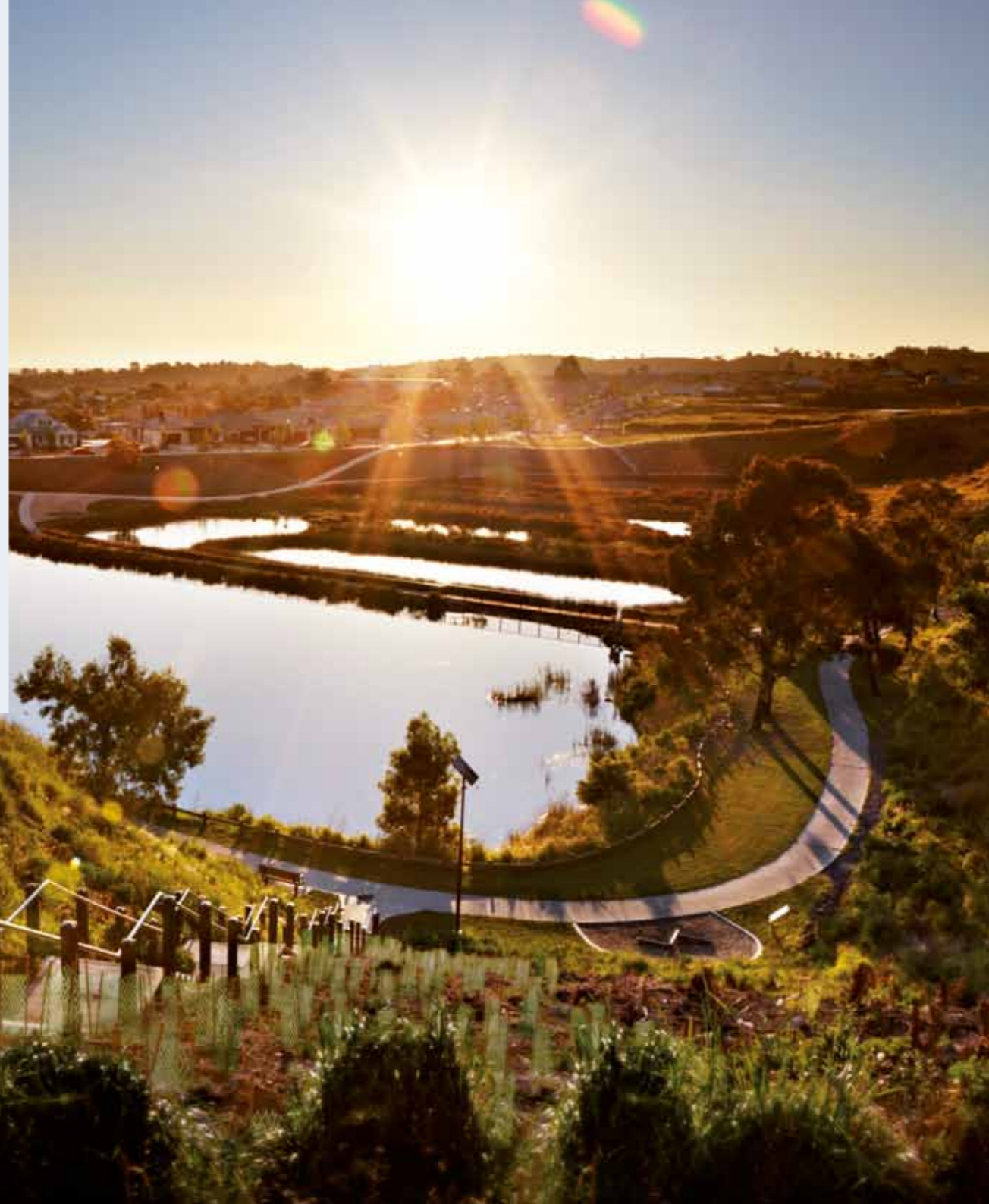
**Cardinia
Lakes**

**BUILDING
DESIGN
GUIDELINES**



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WELCOME

Congratulations on your purchase of a new homesite at Cardinia Lakes, Pakenham. The beautiful landscape of Cardinia Lakes represents relaxed family and waterside living at its best.

Cardinia Lakes has been designed with the lakes as the community's centrepiece. The lakes precinct provides an abundance of public open space with a picturesque, landscaped park and an extensive network of walking and cycling paths, as well as linked reserves. Healthy living has never been so easy or attractive. In time to come, Cardinia Lakes will also boast a large neighbourhood activity centre at the estate entrance including a supermarket, primary school, community facilities and speciality shops – everything you require will be at your doorstep.

Cardinia Lakes has been master-planned to create a high-quality, desirable location to live and the following Building Design Guidelines have been prepared to assist you in designing and building your home to a high standard. Understanding and adhering to these guidelines when designing your home will help you maximise the value of your investment and enhance the quality of the community as a whole. Peet Limited is committed to the highest standards at Cardinia Lakes and will work with you as you establish your new home.

7 BUILDING EXCLUSION ZONE

The advantage of design guidelines is that they provide certainty for the development standard through a straightforward set of objectives, principles and controls for home design that will help create a great neighbourhood for you and your neighbours to live in.

The design guidelines benefit the whole community by making Cardinia Lakes something special – a better place to live. They include mandatory requirements as well as some basic principles and options to guide you in designing your home.

These design guidelines are in addition to State or Local Government planning and building regulations, such as Rescode and the Building Code of Australia (BCA). Where they may address the same features of your home, Rescode and the BCA override these design guidelines. Where the design guidelines are silent on a particular Rescode or BCA requirement, Rescode or the BCA applies. Refer to restrictions in plan of subdivision for stage specific controls.



APPROVAL PROCEDURE

All house designs and building works including excavation, fencing, retaining walls and outbuildings require the endorsement of the Design Assessment Panel (DAP), appointed by Peet, prior to lodging a building application and commencing any work on your lot. Design approval from the DAP does not exempt plans from any building or statutory regulations. Approval by the DAP does not infer compliance under the Building Code of Australia, Rescode or other applicable planning or building regulations.

Peet may apply and enforce these design guidelines at its discretion and reserves the right to vary or waive any of the guideline requirements.

Designs are to be submitted to the DAP for approval as follows:

- House floor plans (1:100 scale)
- Elevations from four sides (1:100 scale)
- Roof plan (1:100 scale)

- Site Plan (1:200 scale) showing:
 - Setbacks from all boundaries
 - Building envelope
 - Existing contours
 - Proposed finished floor levels and site levels
 - External features including driveways, paths, fencing and outbuildings
 - Landscaping
- Schedule of external materials and colours
- Design Approval Application Form
- Completed checklist

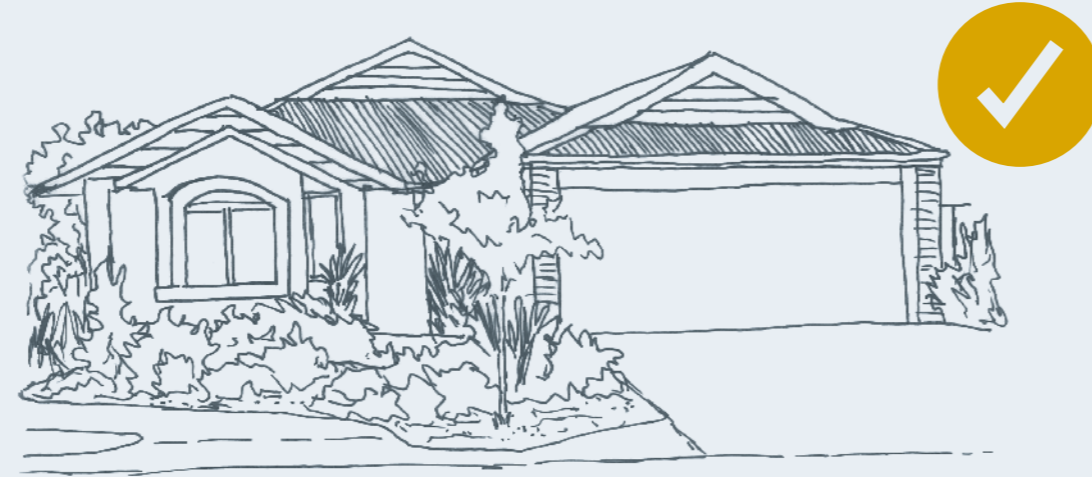
DESIGN SUBMISSION REQUIREMENTS

You are encouraged to submit your Designs in PDF format to melbourne@peet.com.au. If you do not have internet access or are otherwise unable to submit your proposals in PDF format, you may mail them to:

Cardinia Lakes Design Assessment Panel
Peet Limited
Level 3, 492 St Kilda
Melbourne Victoria 3004



SITING OF RESIDENCE



It is important to consider the best way to position your house on the lot to ensure maximum benefits for your house, while also considering the relationship it has with the street. The following objectives should be considered:

- Encourage well planned sites that make the most of their shape, slope, size and orientation.
- Provide sufficient space for a front garden which:
 - Creates an attractive setting for your home.
 - Increases the visual amenity of the street.
- Avoid large box-like building forms with flat, dull facades and help to maintain an animated streetscape.
- Reduce the negative visual impact of garages on the streetscape.
- Protect the retaining walls or benching provided on each lot.
- Make the most of northerly orientation and sunlight into private, open outdoor spaces and internal living areas.

BUILDING EXCLUSION ZONE

THE FOLLOWING ARE KEY CONTROLS AND GUIDELINES FOR POSITIONING OF YOUR HOUSE

Each lot has a unique Building Exclusion Zone prescribed, which indicates the minimum required setbacks. They depict, in plan form, the areas within which the house can be built.

The Building Exclusion Zone has been determined to minimise any negative impact that neighbouring houses may have on one another and to encourage maximum use of any north orientation available to your home. The zone is also there to assist in managing site slope and to protect batters and retaining walls from significant impact.

Building setbacks ensure consistency in houses along streets, resulting in appealing, high-quality streetscapes. The setbacks ensure houses are integrated with the neighbourhood and do not dominate adjoining houses.

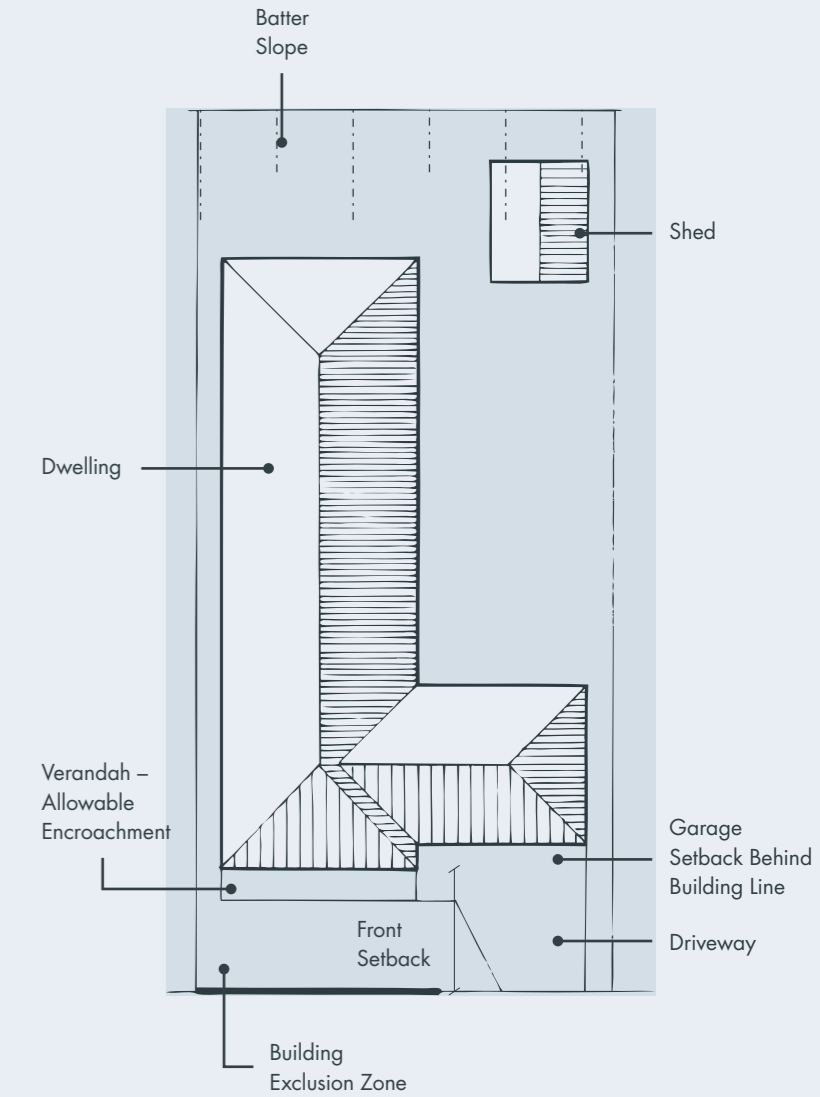
CONTROLS

- Houses and garages can be located anywhere on the lot but not within the Building Exclusion Zone prescribed on the Plan of Subdivision.
- The siting and construction of each house must comply with the relevant building and planning regulations in addition to the Building Exclusion Zone prescribed on the Plan of Subdivision.
- Outbuildings including such things as garden sheds, gazebos and swimming pools can be located within the Building Exclusion Zone but should not be visible from the street or public open space.
- Your home must be set back no less than the minimum front, side and rear setbacks prescribed on the Plan of Subdivision.
- Your home must not be built within one metre of a retaining wall or top of a batter.

GUIDELINES

Encroachment distances apply to the primary frontage setback for instance;

- Open verandahs, entry porticos and pergolas can encroach into the minimum front setback but must retain a minimum setback of 3.0m from the primary frontage. An entry portico must have a minimum depth of 1.5m.
- Eaves, fascias, gutters, balconies and bay windows can encroach up to 1.0m into the primary frontage setback.



ORIENTATION AND SLOPE

An appropriately located house can create a more comfortable living environment and promote energy efficiency in the home. Each house should respond to existing slopes and avoid excessive modifications to finished surface levels on the lots.

CONTROLS

Existing batter slopes and retaining walls can be modified, however the structural integrity of the slope must be maintained for adjoining lots. The owner should seek professional advice and council approval where necessary.

GUIDELINES

- Locate your living spaces on the northern side of the house, with north facing windows, wherever possible.
- Use landscaping (trees and shrubs) to assist in shading your east and west windows protecting them from harsh summer sun. Deciduous trees and shrubs will let in winter sun if desired.



BUILDING DESIGN AND EXTERNAL ELEMENTS

The architectural style and detail of your home has an important influence on the Cardinia Lakes estate. The following objectives should be considered and are detailed further in this section:

- House designs, shapes, materials, colours and scales that contribute harmoniously to the overall streetscape and natural landscape of Cardinia Lakes as a whole.
- Use of colour palettes and materials that provide a consistent range of finishes and hues across all houses.
- Articulation and frontage through use of setbacks, verandahs and balconies.

GENERAL DESIGN PRINCIPLES

The impact of houses on streets requires careful consideration. The facade of a home should provide an attractive composition of **building** elements such as windows, doors, balconies, verandahs, porticos, shade structures, materials and colours. High-quality streetscapes should be established and maintained to benefit the whole community.

CONTROLS

- The entry of your home must be visible from the street.
- All homes should address the street with letterbox, windows and front door access located in the primary frontage.
- Your home should incorporate either a verandah, porch, portico or setback of the garage to the main building line.
- All homes must address secondary frontages and may provide alternative entries from these secondary frontages.
- Where a home is required to address a secondary frontage, variation and articulation to the roof and building lines is required to a minimum of 0.5m.
- On any lot with a side to public open space or pedestrian paths, the house must be designed to include facade elements on those sides as blank walls are not permitted. Acceptable facade elements are windows, awnings and articulation of the building line.
- On allotments that are 18m wide or greater, the front facade of your home must have at least two rooms with windows facing the front street.
- On a corner lot, the house must be designed to include elements of the front facade for at least 6m of the facade facing the side street.
- Parapet walls are not permitted on the boundary unless it forms part of the architectural detailing and is integrated with the front facade of your home.



VERANDAHS AND BALCONIES

Your home should incorporate an entry verandah, portico, porch or other entrance feature at the main door to provide weather protection and assist in creating a strong sense of entry.

CONTROLS

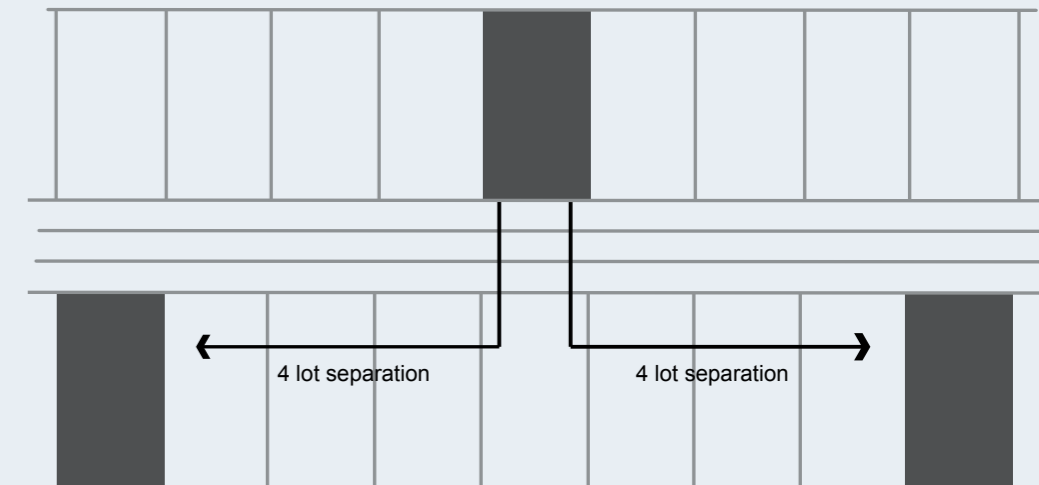
- The minimum verandah size is 6m² with a depth of 1.5m, minimum portico or porch size is 4m² with a width and depth of 1.5m, minimum balcony should have a combined dimension of 6m² with a minimum depth of 1m.
- Verandah posts must have a minimum dimension of 100mm x 100mm.

DESIGN DUPLICATION

Duplication in key design features is to be avoided in homes close to one another. Contact Peet on (03) 9868 5900 if you are unsure of what might be planned for homes nearby.

CONTROLS

- Houses with identical facades must not be constructed close to each other and must be separated by a minimum of four houses in any direction.



ROOFING

A variety of roof shapes is encouraged in Cardinia Lakes and articulated roof shapes with elements such as hips, gables, Dutch gables, dormer windows, verandahs and/or balconies are preferred.

CONTROLS

- Your home must have a roof pitch of at least 22°.
- Your roof material must complement the style of your home (innovative solutions that integrate with the architectural style of the home will be considered).
- Acceptable materials include:
 - Tile.
 - Slate.
 - Non-reflective colour bonded steel sheeting.

PLUMBING

Plumbing should be considered in designing your home.

CONTROLS

- Exposed plumbing (excluding gutters and downpipes) must not be visible from any street or parkland.
- All plumbing on double-storey houses, except downpipes and gutters, must be internal and not visible from the street or neighbouring properties.
- Solar panel/collectors must not be visible from the street unless required for orientation and efficiency purposes, in which case the roof colour must match the colour of the solar panels.
- Storage tanks must not be visible from the street or reserve.

GARAGES

The garage should be integrated within the overall house design and not dominate the primary building facade.

CONTROLS

- A minimum setback to your garage of 0.5m from the main building line is required so that it does not dominate the appearance of the street, and allowing you to park a car on your property between the front property boundary and the garage.
- The maximum width of a garage must be no more than 50% of a lot width, up to a maximum of 7m.
- Prior to occupancy, all homes must have constructed at least one roofed and fully enclosed garage, capable of accommodating a minimum of two passenger vehicles.
- Garage doors facing the street must be panelled and painted in colours which complement the house.
- Roller doors will generally not be approved, however may be considered on their architectural merit, where they complement the design of your home.

DRIVEWAYS AND CROSSOVERS

Driveways are a major visual element at Cardinia Lakes and should be constructed using materials that blend with or complement the dwelling textures and colours.

CONTROLS

- Only one driveway is permitted per lot.
- Driveways must be constructed prior to occupancy.
- The driveway must be offset from the nearest side boundary by 500mm to provide a landscape strip.
- The locations of crossovers are fixed and must not be altered unless approved by Peet. The cost of any relocation, soil retaining and associated landscaping works will be met by the lot owner.



MATERIAL SELECTION

The materials and colours of the walls and roofs of houses will have a major impact on the visual quality of Cardinia Lakes. Thoughtful selection of materials and colours will achieve a high degree of harmony between houses, so avoid colours that are out of character with neighbouring properties.

A varied, yet complementary mix of materials and textures in the external wall design is encouraged as they provide diversity to the built form.

CONTROLS

- You are requested to submit roof and wall materials for approval.
- The external walls (excluding windows) of your home should be brick, stone, brick veneer, rendered fibrous cement or timber, or any combination of those materials, provided that where timber is used, it does not constitute more than 30% of the external walls.
- Imitation finishes such as vinyl brick sheeting or fibre cement weatherboards are not permitted.
- Glazing must be clear or tinted, non-reflective glass.
- On any elevation visible from the street or a reserve, lightweight materials ie: fibre cement sheeting, painted beams or similar must not be used above windows or doors unless it is integral with the architectural style of your home.
- At least 20% of the front facade must be of a rendered, bagged or painted finish.

GUIDELINES

- The use of contrasting lightweight and solid materials is encouraged and up to 50% of facades may be lightweight.

FENCING

CONTROLS

Front fences are generally not permitted.

Side and rear fencing to lots must:

- Be constructed of Colorbond steel or aluminium (Colour – Grey Ridge) and be no higher than 1.8m.
- Be setback a minimum of 6.5m from the front street and returned at 90° to that boundary to connect with the side of the house or garage wall.
- Continue to the front of the lot if a side boundary forms the rear lot boundary of an adjoining lot.
- Where a lot forms the boundary of public open space fencing is required to be permeable and no higher than 1.2m.
- Refer to your plan of subdivision for further information.

LETTERBOX

CONTROLS

- Your letterbox must complement your home in terms of materials, colour and style.
- Your letterbox must be located and constructed to Australia Post standards.



LANDSCAPING

Your landscaping contributes to the attractiveness of the Cardinia Lakes environment. The following should be considered:

OBJECTIVES

- To create a seamless integration between the front garden and streetscape zones.
- To contribute positively to the visual quality of the street.
- To provide a safer street environment by creating increased opportunities for passive surveillance.
- To provide a sustainable vegetated and attractive green setting for your home.

CONTROLS

- At least 40% of your front garden must be landscaped using trees, shrubs, tufting plants, ground covers or lawn.
- No more than 60% of your front garden is to comprise hard paved surfaces.
- You must carry out all landscape works for your front yard within 6 months of the date of issue of the occupancy permit for your home. This timeframe allows for planting when the weather is less harsh for plants to establish and should be taken into consideration.
- Where your lot width is less than 15 metres at the front street, you must plant at least one mature tree between the front facade of your home and the front street.
- Where your lot width is greater than 15 metres at the front street, you must plant at least two mature trees between the front facade of your home and the front street.

- A mature tree is defined as one which, at the time of planting, is either no less than 2 metres high or which fills a pot of no less than 45 litres.
- Where an interface with public open space, provision of at least 25m² of secluded, private open space should be made.
- Where appropriate, the use of drought tolerant and predominantly native species is encouraged.

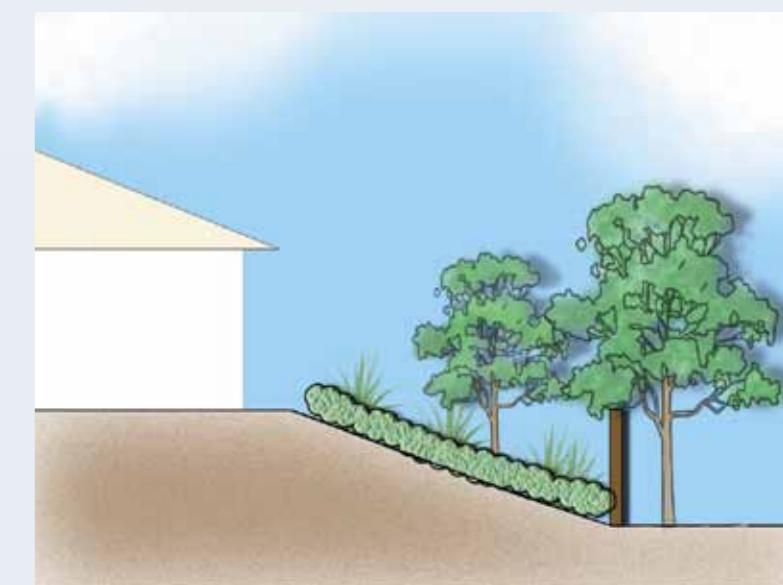
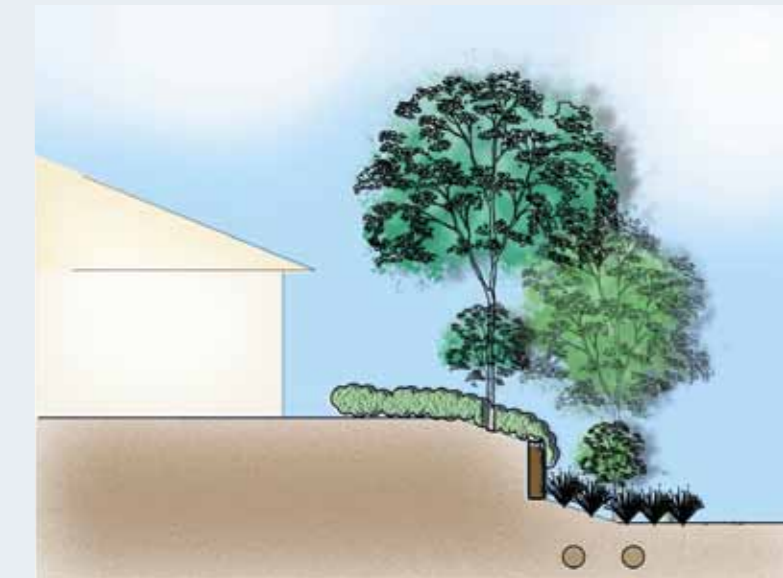
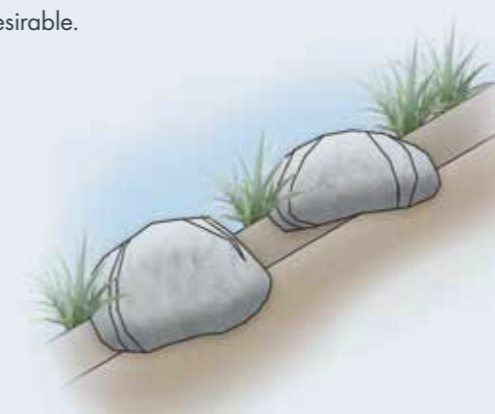


BATTER/SLOPE TREATMENTS

If your lot has a batter/slope, there are several ways of stabilising the soil and protecting against erosion. Suggested treatments are as follows:

GUIDELINES

- Plant the slope to knit the soil together, with a suggested planting density of three plants per square metre or as directed on plant label (some plants will spread more than others). If one or more trees are planted, please consider their mature height and spread to ensure there is enough growing space. A list of suggested plants is included in the Appendix.
- Install/dig-in large rocks or boulders (min 0.3m diameter) at least one third the size of the rock to be below ground surface (as pictured). If unsure, seek help from professional landscape contractors.
- A tiered garden bed can be created using timber sleepers or other approved retaining wall systems. If you choose this method and any retaining walls are to be higher than 0.9m, it is recommended that you seek professional help from a landscape architect/landscape contractor or structural engineer. This method can be used to create a vegetable/herb garden or ornamental feature stairs can also be incorporated in this scenario.
- A combination of some or all of the above would be most desirable.



KEEPING YOUR LANDSCAPE SUSTAINABLE

A sustainable landscape is considered to have the following characteristics:

- Low maintenance.
- Require minimal watering.
- Planted with drought tolerant species.
- Encourage local birds and insect/butterfly habitats.
- Use tank, recycled or grey water when irrigation is required.
- Uses organic mulch to retain moisture and reduce water evaporation. Some non-organic stone mulches are also ok to use.

The list of plants provided at the end of this section have been chosen to assist with your better treatment and plant selection elsewhere in your garden. They comprise both exotic and native species and have been chosen for their hardiness and tolerance to dry conditions.

We recommend you look for these characteristics whenever you are selecting from your nursery.

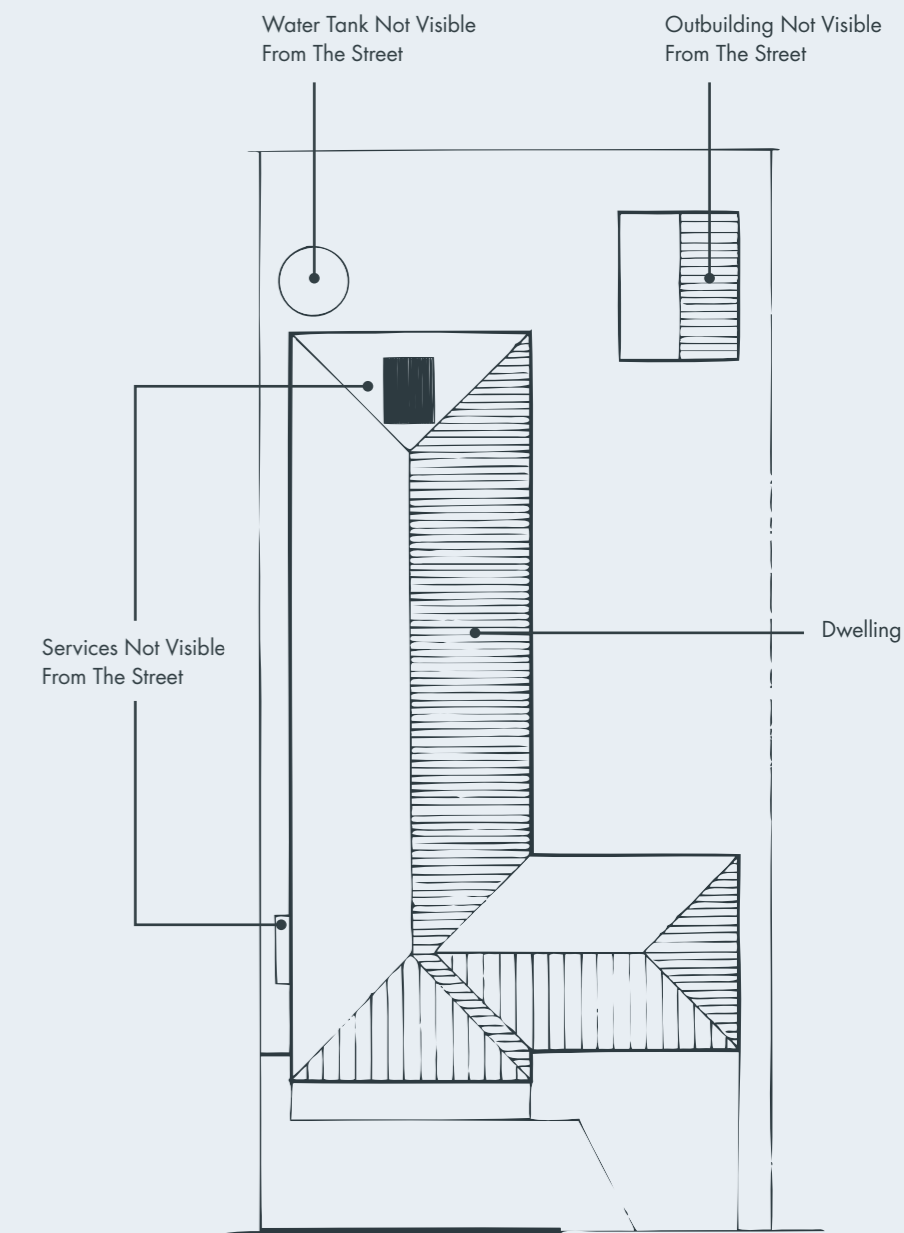
Further information can be found on the internet or we recommend asking you local nursery staff.

For further information on how to make your garden more sustainable, there are many websites that offer more in-depth information. For example: Sustainable Gardens Australia: www.sgaonline.org.au



OUTBUILDINGS AND OTHER IMPORTANT CONSIDERATIONS

Wherever possible, services and outbuildings should be integrated with your house and have minimal visual impact on the streetscape and public open space. External fixtures must be noted on plans submitted to the DAP.



SUSTAINABILITY AND EFFICIENCY

STORAGE STRUCTURES

CONTROLS

- All outbuildings (including all sheds) must be located to minimise their visual impact and generally should not be visible from the street or any parkland.
- The maximum height of any outbuilding must be 3.6m at the ridgeline, measured from the natural ground level.

SWIMMING POOLS

CONTROLS

- A swimming pool may be located anywhere on the lot.
- The location of a swimming pool should not impact on the structural integrity of the adjoining property's retaining walls or batter slopes.

EXTERNAL UNITS

CONTROLS

- Fixtures such as (but not limited to) satellite dishes, TV aerials, external hot water services, air conditioning units, evaporative cooling units, heating units and spa pumps, must be located to minimise their visual impact on public areas.

BINS

CONTROLS

- Bins should not be stored on a lot so that they are visible from any street or parkland.

PLANT AND EQUIPMENT

CONTROLS

- Ground mounted plant and equipment such as (but not limited to) heating and cooling units, swimming pools, clothes hoists and washing lines must be located to minimise their visual impact on public areas and generally should not be visible from any street or parkland.

WATER TANKS

CONTROLS

- Water tanks must be located to minimise visual impact on public areas and to maximise collection of water.

BINS

CONTROLS

- Bins should not be stored on a lot so that they are visible from any street or parkland.

BOATS/CARAVANS

CONTROLS

- Boats or caravans should not be parked on a lot so that they are visible from any street or parkland.

OPTIC FIBRE TO THE HOME

CONTROLS

- Homes must not have external antennas or satellite dishes that are visible from the street. All homes must install or make allowance for optic fibre cabling. To access this high-speed broadband and telephone service, homes need to comply with the NBN Co In-Home Wiring Guide. Failure to comply may prevent connection to the NBN network infrastructure, or may require the homeowner to incur additional costs in order to connect.

Please speak to the Cardinia Lakes Sales representative and your builder for more information

All homes can be green, regardless of budget. There are simple changes you can make that will reduce your energy bills and your environmental impact, creating a comfortable living space. The best way to save money in the long-term is to 'go green' from the beginning.

ENERGY EFFICIENCY

CONTROLS

- You must achieve the minimum current industry standards for energy ratings for your home, as assessed by accredited professionals using energy rating software recommended by the Sustainable Energy Authority Victoria (SEAV).

GUIDELINES

By encouraging the utilisation of the following siting and design principles, comfort and energy savings can be achieved:

- Appropriate siting to allow good solar access.
- Correctly orientated and sized windows.
- Thoughtful selection of building materials.
- Good insulation.
- Good ventilation.
- Draught proofing.
- Energy efficient appliances.
- Energy efficient lighting.
- Energy efficient cooling, heating and hot water systems.
- Appropriate planting for shade and insulation.

The Victorian Government website Make Your Home Green (www.makeyourhomegreen.vic.gov.au) provides comprehensive information about designing and building your home to optimise energy efficiency and savings.

Purchasers should speak to their builder/s regarding in-house ventilation circulation, consider locating air conditioners where possible to avoid noise nuisance to adjoining properties and visual dominance to adjoining property private enjoyment. Peet encourages buildings that exceed minimum energy efficiency and noise levels are determined by the relevant building controls

WATER EFFICIENCY

GUIDELINES

- Plan the layout of your house so the water heater is close to where hot water is used to minimise water wastage.
- The installation of water tanks or a grey water system for flushing toilets and irrigation for gardening is encouraged.
- The use of water saving tapware and flow reducing showerheads is encouraged.
- Mulching of garden beds is recommended.

APPENDICES

PLANT SCHEDULE FOR PRIVATE REALM

PLANT SPECIES	COMMON NAME	HEIGHT x WIDTH (m = METERS)
Large trees		
* Angophora costata	Smooth Barked Apple	20m x 14m
* Corymbia citriodora	Lemon-scented Gum	23m x 15m
Small Trees		
** Acer spp.	Maple	Varies
* Eucalyptus crenulata	Silver Gum	8m x 7m
* Callistemon spp.	Bottlebrush	Varies
* Corymbia eximia	Yellow Bloodwood	12m x 8m
* Pyrus spp.	Ornamental Pear	
Shrubs		
* Acmena smithii minor spp.	Dwarf Lily Pilly	Varies
* Acacia cognata 'Limelight'	Dwarf Weeping Wattle	0.5m x 1m
** Aeonium spp.	Aeonium	1m x 0.8m
** Artemisia spp.	Artemisia	Varies
* Callistemon spp.	Bottlebrush	Varies
* Leucophyta brownii	Cushion Bush	1m x 0.9m
** Choisyia ternata	Mexican Orange Blossom	1.5m x 1.5m
* Correa spp.	Correa	Varies
** Echium spp.	Pride of Madeira	1.5m x 1.8m
** Eremophila spp.	Emu Bush	Varies
* Westringia spp.	Native Rosemary	Varies

*Native
**Exotic

PLANT SPECIES	COMMON NAME	HEIGHT x WIDTH (m = METERS)
Climbers		
* Lonicera x heckrottii 'Gold Flame'	Coral Honeysuckle	N/A
* Pandorea spp.	Native Flowering Climbers	N/A
** Parthenocissus tricuspidata veitchii	Boston Ivy	N/A
Ground Covers		
* Carpobrotus spp.	Pigface	Prostrate x 2
* Correa spp.	Prostrate Correa	Varies
* Grevillea spp.	Prostrate Grevillea	Varies
* Myoporum parvifolium Broadleafed cultivar	Creeping Boobialla Cultivar	Varies
** Rosmarinus officinalis Prostrate	Prostrate Rosemary	Prostrate x 2
* Scaevola sp.	Fairy Fan Flower	Prostrate x 1
* Viola hederacea	Native Violet	0.1m x 0.5m
Grasses and Strapleafed Plants (150mm Pots)		
** Arthropodium cirratum	Renga Renga Lily	0.8m x 1m
* Dianella spp.	Dianella	0.4m x 0.4m
** Dietes spp.	Wild Iris	0.9m x 0.5m
** Liriope muscari	Giant Mondo Grass	0.6m x 0.45m
* Lomandra longifolia 'Tanika'	Spiny Headed Mat-Rush	0.6m x 0.6m
* Lomandra longifolia 'Nyalla'	Spiny Headed Mat-Rush	0.75m x 0.75m
* Pennisetum alopecuroides	Fountain Grass	1m x 1.4m

*Native
**Exotic

CARDINIA LAKES DESIGN APPROVAL APPLICATION FORM

Please submit your Design Approval Submission Package to melbourne@peet.com.au

Allotment details

Lot Number: Street:

Owner details

Name: Mailing Address:

Contact Number: Email:

Builder details

Name:

Company: Mailing Address:

Contact Number: Email:

Attachments

- Completed checklist 1 copy of Site plan 1 copy of proposed Floorplans, Roof plans and Elevations 1 copy of Materials and Colours schedule 1 copy of Landscape design

Non-conforming designs (to be completed for designs that do not comply with design guidelines)

List measures taken to ensure that standards are being upheld or improved:

.....
.....

List reasons why this home design will add character to the overall estate:

.....

- Where colour selections or materials differ from pre-approved palette, please provide samples or images of your selection for assessment.

Submitted by: Print name: Date:

CARDINIA LAKES GUIDELINES CHECKLIST & DESIGN APPROVAL APPLICATION FORM

You are encouraged to submit your Design Approval Submission Package in PDF format to melbourne@peet.com.au

Alternatively you can send them to:

Cardinia Lakes Design Assessment Panel
Peet Limited, Level 3, 492 St Kilda Road
Melbourne Victoria 3004

PEET LIMITED – BRINGING LAND TO LIFE FOR OVER 115 YEARS

With over 115 years of experience in community creation, Peet Limited has won numerous planning and environmental awards for creating premium communities, all of which feature high quality landscaping and presentation.

Peet Limited has residential developments in Victoria, Western Australia, Queensland and New South Wales.

Peet Limited is one of Australia's largest residential land developers. We strive to make our communities not only great places to live, but sound investments for the future.

This brochure is indicative only and believed to be correct at the time of printing. This should not be relied upon by purchasers, as no warranty or representation is given or to be construed. Areas and dimensions are subject to survey and all other matters (including but not limited to price, availability, dates and proposed facilities) are subject to change without notice at Peet's absolute discretion. This does not form part of any contract and purchasers should review the contract carefully, make their own enquiries and obtain independent advice before proceeding. Please note these photographs were taken at or surrounding Cardinia Lakes, March 2011.



LAND SALES AND INFORMATION CENTRE

Open 12pm–5pm Saturday to Wednesday
Bonneville Pde, Pakenham Vic 3810
Enter via Windermere Blvd (off Princes Hwy)
Melways Ref: 317 K5

peet.com.au/cardinalakes

CALL 13 PEET

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